

Appendix 2

Landscape Proposal

**Rezoning from “Residential (Group C)2” and “Open Space” zones to
“Residential (Group C)4” zone for a Proposed Residential Development
at Lot Nos. 519 RP (part) and 520 RP in D.D. 110 and the Adjoining
Government land, Shek Kong, Yuen Long, N.T.**

Landscape Proposal

6th November 2025

Prepared By:

SCENIC Landscape Studio Limited



Project Title	Rezoning from “Residential (Group C)2” and “Open Space” zones to “Residential (Group C)4” zone for a Proposed Residential Development at Lot Nos. 519 RP (part) and 520 RP in D.D. 110 and the Adjoining Government land, Shek Kong, Yuen Long, N.T.
Report Title	Landscape Proposal

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1.0 Introduction

- 1.1 SCENIC Landscape Studio Limited have been commissioned to prepare a landscape proposal to seek approval from the Town Planning Board ("TPB"/the "Board") under section 12A of the Town Planning Ordinance for rezoning of the Site from "Residential (Group C)2" ("R(C)2") and "Open Space" ("O") to "Residential (Group C)4" ("R(C)4") under the approved Kam Tin North Outline Zoning Plan ("OZP") No. S/YL-KTN/11, to enable the proposed residential development ("Proposed Development") at Lot Nos. 519 RP (part) and 520 RP in D.D. 110 and adjoining Government land, Kam Tin Road, Shek Kong, Yuen Long.
- 1.2 This report seeks to present the landscape design proposal. It will outline the landscape design objectives and landscape treatment for each component of the proposed Development Site. This report has been prepared in accordance with Buildings Department, Lands Department and Planning Department Joint Practice Note No. 3 concerning the Re-engineering of Approval Process for Land and Building Developments and adheres to the requirements of Buildings Department Practice Notes PNAP APP-152 Sustainable Building Design Guidelines for the calculation of the green coverage.
- 1.3 The Landscape Proposal is presented as **Figures 4.1**; and series of sections through the landscape as **Figures 5.1 to 5.3**.

2.0 Existing Site Description

- 2.1 The Development Site is located in Kam Tin North. The Site abuts Kam Tin Road to its immediate south. Two low-rise, low-density residential developments in the same "R(C)2" zone, namely Seasons Villas and Seasons Monarch, are located to the immediate north-east and further west. Villages including Shek Kong San Tsuen and Pang Ka Tsuen are located to the west of the Site. The areas to the immediate west and south-west are occupied by temporary structures, open storage sites and vacant vegetated land zoned "O". Shek Kong Barracks is located to the further south of the Site across Kam Tin Road.
- 2.2 The Development Site sits on a gently sloping land with gradient gradually descending from the south at +13.5mPD towards the north at +8.1mPD in general. The Site is currently sparsely vegetated.
- 2.3 A total of 96 nos. trees were identified within the Development Site boundary and another 4 nos. located immediately beyond the boundary. These are largely located in the central portion and along its southern periphery. The most numerous of the existing trees are *Macaranga tanarius* var. *tomentosa*, *Leucaena leucocephala* and *Bombax ceiba*. Other species include *Albizia lebbbeck*, *Bauhinia purpurea*, *Celtis sinensis*, *Dimocarpus longan*, *Delonix regia*, *Ficus hispida*, *Ficus religiosa*, *Ficus variegata*, *Litchi chinensis*, *Melia azedarach* and *Morus alba*.

3.0 Project Description

- 3.1 The Proposed Development has total site area of about 8,580 m² providing about a total of 240 residential units. It comprises a total of 6 nos. of residential towers with 6 storeys above ground (including G/F for entrance lobby / car park / E&M facilities). With site formation level at +10.4mPD, the referencing building height is about +28.9 mPD.
- 3.2 The 1-storey clubhouse with green roof is located in the central portion; the sewage treatment plant (STP) involves 1 storey above ground and the basement for the tank; while

the stormwater storage tank (SST) involves one storey below ground (tentatively below Tower 3 and Tower 4).

4.0 Landscape Design Proposal

- 4.1 The concept underpinning the landscape proposal for the Proposed Scheme presented as **Figure 4.1** is to integrate the proposals within their future landscape and visual context; provide a synthesis between the proposed architecture and its landscape setting and provide high quality open space in association with the development.
- 4.2 The landscape design proposal is described in terms of the main design objectives, followed by a description of the key landscape components, and finally the landscape elements including the proposed hard and soft landscape, which form the palette of materials.

5.0 Landscape Design Objectives

- 5.1 The design objectives for the Landscape Proposal are to:
- Create a distinctive landscape which responds to the existing context, the architectural scheme proposals and the future residents to create a sense of community;
 - Integrate the proposed development from a landscape and visual perspective with the existing and planned landscape context;
 - Provide visual integration in views of the proposed building mass from the surrounding areas and provide vegetation screening and softening of the built form in closer low-level views;
 - Provide a quality, sustainable and accessible living environment for the enjoyment of the residents and visitors;
 - Provide recreational spaces for the future residents; and
 - Maximise opportunities for greening measures utilising tree and shrub planting and lawn and climbing plants within the new landscape.

6.0 Open Space Proposals

- 6.1 The Proposed Scheme has sought to provide adequate open space (1m² per person based on the predicted future population) in accordance with the requirements of the Hong Kong Planning Standards and Guidelines (HKPSG). The design of the open space is based on the objective of providing high quality passive recreational facilities and features that will satisfy the needs of the future residents. The provision of open space is shown on **Figure 6.1**.
- 6.2 The Proposed Scheme will include about 830 m² of uncovered open space in total for residents' use. Since the current planned total resident population of the project is approximately 648 persons, the proposal adequately satisfies the requirements for 1 m² per person based on the predicted future population in accordance with the HKPSG.
- 6.3 All of the open space within the Development Site boundary would be constructed, managed and maintained by the land owners after the completion of Defect Liability Period and Establishment Period.

7.0 Site Coverage of Greenery

- 7.1 The site coverage of greenery for the residential development in Development Site will not

be less than 20% in accordance with Buildings Department Practice Notes PNAP APP-152 Sustainable Building Design Guidelines and DEVB Technical Circular (Works) No. 4/2020. This includes a minimum of 15% at the Primary Zone (within 15m of mean street level). The calculation of area is based on the uncovered areas of tree and shrub, lawn and groundcover planting; and an area of vertical greening. The Site coverage of Greenery for the proposed development is shown on **Figure 7.1**.

- 7.2 The total site area of the Development Site is 8,580 m² and so with a green coverage around 1,888 m² it will be no less than 22%.

8.0 Landscape Design Components

- 8.1 The following description seeks to establish some general principles of the landscape design. **Figure 4.1** shows the Landscape Proposal whilst sections in **Figures 5.1** to **5.3** shows the character and structure of the landscape.

Residential Development

- 8.2 The landscape seeks to create an attractive external environment for the development, coordinating paving and planting design for residential entrances and open spaces with internal streetscape design to provide a unified contemporary appearance within a tranquil setting in the immediate area context. The design aims to create a vibrant internal landscape area with attractive extensive and intimate spaces to highlight arrival and leisure landscapes.

The Boundary Landscape

Landscape Screen Planting

- 8.3 The width and character of the landscape buffer has been designed according to its location. Where space allows these landscape screen or buffer areas will be planted with new tree and shrub planting and will function to help integrate the development with its surroundings, maximising the screening effect for the Proposed Scheme in views from adjacent village areas and maximise areas of visible greenery. Climbing plants are also used to soften the form of the proposed wall. The location of the planting buffer is shown on **Figure 4.1 Landscape Master Plan**, and the landscape screen planting is shown on Section A-A (**Figure 5.1**) and in greater detail in section A1-A1' (**Figure 5.1**), A2-A2' & A3-A3' (**Figure 5.2**) and B-B' (**Figure 5.3**).

Landscape Setback

- 8.4 The design of the proposed boundary landscape in the southern portion adjacent to Kam Tin Road includes a setback for Highways Department's future widening of the road. The fence wall is also set back to enhance the appearance of the boundary and partially obscure views of the fence wall structure. There is no new tree planting within this setback area. The landscape setbacks are indicated on **Figure 4.1 Landscape Proposal**, and section C-C' (**Figure 5.4**).
- 8.5 The landscape boundary treatment adjacent to Kam Tin Road includes some preserved trees and it is proposed the area be planted with shrubs. The landscape boundary is shown in **Figure 4.1 Landscape Master Plan**.

The Arrival and Circulation Landscape

- 8.6 The landscape design for residential projects should provide an enjoyable route home, which can be termed the Arrival Landscape. This is a sequence of experiences as one moves through composed moments in the landscape, which include the follow key areas:

Main Entrance

- 8.7 The access into the site located in the south east corner adjacent to Kam Tin Road. The entrance is designed to define the address of the development and establishes its character and quality at the point of entry. It will be designed to provide an attractive entry threshold experience, incorporating feature walls and accent planting. **Figure 4.1** shows the location of the entrance and Section C-C' (**Figure 5.4**).

Streetscape Promenade / Turnabouts

- 8.8 The Internal street / EVA including the proposed streetscape promenade and turnabouts is likely to be relatively lightly trafficked on a day-to-day basis and as such can be considered as shared surfaces including facilities for pedestrians and cyclists. The routes will feature decorative paving and will be planted where space allows with street trees and animated with attractive lighting, incidental seating spaces and visual features in order to enhance the internal street experience. **Figures 4.1** illustrates the landscape character of the streetscape areas.

Lobby Entrances

- 8.9 Each lobby entrance which addresses the street will be demarcated with feature paving and framed with pots / planting to help highlight the interior / exterior threshold and help create a sense of arrival to individual blocks. **Figures 4.1** shows the location of the lobby entrances.

The Leisure Landscape

- 8.10 The landscape should also function as a leisure experience for the residents, with things to see and do in the outdoor home environment that provide for social interaction and bring people closer to nature. The development proposal provides opportunities for specific open space areas largely in the central portion of the development which are fully connected by the framework of pedestrian circulation. Key aspects of the spatial planning and features of the proposed leisure landscape are described as follows:

Clubhouse and Swimming Pool Terrace

- 8.11 The Clubhouse and Swimming Pool Terrace is a core feature of the leisure landscape provision. This landscape has an outdoor swimming pool and decks associated with the facilities which provide recreation opportunities for residents. The pool is designed to provide for both formal lapping and informal leisure swimming experiences. The planting at the edge of the deck serves to enclose the pool license area, creates a human scale, provides for the privacy of bathers and also serves to soften the form of the architectural design. The decks and its associated landscapes will be designed to enhance the relationship between the internal and external clubhouse spaces with visual access between the two. **Figures 4.1** show the character of the swimming pool terrace.

Community Garden

- 8.12 This area of a lawn located on the roof of the Sewage Treatment Plant and provides seating deck and lawn for the enjoyment of the future residents. The garden is enclosed to the north, east and south by the at-grade tree planting of the landscape screen planting. **Figure 4.1** shows the location of the Community Garden and section **A3-A3'** (**Figure 5.2**) shows its open character.

Pocket Gardens

- 8.13 The Pocket Gardens provide flexible spaces for the relaxation of residents and informal seating. The surrounding tree and shrub planting partially screen views of the residential developments beyond while establishing human scale for the space and providing for the thermal comfort of residents. **Figure 4.1** shows the location of the Pocket Gardens.

BBQ and Entertainment Deck

- 8.14 Utilising a central deck this space provides shaded seating and facilities such as an outdoor BBQ for use by future residents. **Figure 4.1** and section **B-B'** (**Figure 5.3**) shows the location and character of the BBQ and Entertainment Deck.

Children's Play Area

- 8.15 The Children's Play Area is located at the north western portion of the Development Site will provide a range of play equipment for various age groups. These facilities are set within a landscape framework of trees and shrubs, whilst ample seating and gathering areas are provided in order to encourage a lively, participatory atmosphere. A pavilion structure will provide shaded seating for adult supervision of the children at play. **Figure 4.1** shows the location of the Children's Play Area.

Grand Lawn

- 8.16 The Grand Lawn is located in the northern portion of the Development Site. This area of lawn provides flexible space for the relaxation of residents, impromptu family occasions including picnics and community events. The surrounding tree and shrub planting partially screens views of the residential developments beyond while establishing human scale for the space. **Figures 4.1** show the character of the Grand Lawn area.

Tranquil Trail

- 8.17 The Tranquil Trail provides a picturesque footpath under the dappled shade of the trees within the landscape screen planting. **Figure 4.1** shows its proposed location and Section A1 -A1' (**Figure 5.1**) its proposed character.

9.0 Landscape Design Elements

Soft Landscape Design Approach

- 9.1 The basis for the proposed planting scheme would be to provide a green and comfortable environment for the future resident's recreational needs. Shade trees with a dense canopy and flowering shrubs in addition to the use of hard landscape treatments would be used to emphasise, where possible, the character of each of the landscape spaces described above. The spaces will be characterised by the use of tree, shrub and groundcover species selected to provide a lush, landscaped area whilst responding to the character of the architecture that embraces it.
- 9.2 These soft landscape measures will ensure that the harsh lines of the built form are visually softened in views from the neighbouring areas. The tree planting is designed to create a sense of enclosure, provide a human scale and enhance thermal comfort. Large sized trees will be used to achieve this objective at an early stage.
- 9.3 The planting design will contribute to the overall character of the proposed development providing colour throughout the year with seasonal variations providing an evolving tableau. This will be achieved through the selection of species with an interesting form, colour and texture of their foliage and through the use of flowering species to provide an architectural highlight.

- 9.4 The species listed in Table 9.1 will form the basis of the planting design proposals (planting list subject to landscape design proposals).

Table 9.1: Planting Species for Amenity Planting Areas

Botanical Name	Size (mm) (Height x Spread)	Spacing (mm)
Tree Species		
<i>Alstonia scholaris</i>	Heavy standard	As shown (min 4000 centres)
<i>Bauhinia x blakeana</i>	Heavy standard	
<i>Bischofia javanica</i>	Heavy standard	
<i>Celtis sinensis</i>	Heavy standard	
<i>Chukrasia tabularis</i>	Heavy standard	
<i>Cinnamomum burmannii</i>	Heavy standard	
<i>Cratoxylum cochinchinense</i>	Heavy standard	
<i>Crateva unilocularis</i>	Heavy standard	
<i>Elaeocarpus hainanensis</i>	Heavy standard	
<i>Jacaranda mimosifolia</i>	Heavy standard	
<i>Liquidambar formosana</i>	Heavy standard	
<i>Litsea glutinosa</i>	Heavy standard	
<i>Mallotus paniculatus</i>	Heavy standard	
<i>Michelia chapensis</i>	Heavy standard	
<i>Melia azadarach</i>	Heavy standard	
<i>Plumeria rubra</i> 'Acutifolia'	Heavy standard	
<i>Sapium sebiferum</i>	Heavy standard	
<i>Schefflera heptaphylla</i>	Heavy standard	
<i>Spathodea campanulata</i>	Heavy standard	
<i>Syzygium levinei</i>	Heavy standard	
<i>Tabebuia rosea</i>	Heavy standard	
<i>Terminalia mantaly</i>	Heavy standard	
<i>Washingtonia robusta</i>	Heavy standard	
Large Specimen Shrub Species		
<i>Acacia podalyriifolia</i>	1500 (h) x 1000 (s)	As shown
<i>Ficus microcarpa</i> var. <i>crassifolia</i>	1500 (h) x 1000 (s)	
<i>Hibiscus rosa-sinensis</i>	1500 (h) x 1000 (s)	
<i>Lagerstroemia indica</i>	1500 (h) x 1000 (s)	
<i>Osmanthus fragrans</i>	1500 (h) x 1000 (s)	
Shrub Species		
<i>Bougainvillea</i> sp. 'Mary Palmer'	600 x 300	350
<i>Cordyline terminalis</i>	300 x 250	300
<i>Duranta repens</i> 'Golden Leaves'	300 x 250	300
<i>Ficus microcarpa</i> 'Golden Leaves'	300 x 250	300
<i>Hibiscus rosa sinensis</i>	300 x 250	300
<i>Ixora coccinea</i> 'Sunkist'	300 x 250	300
<i>Pittosporum tobira</i>	300 x 250	300
<i>Rhaphis excelsa</i>	300 x 250	300
<i>Rhododendron mucronatum</i>	300 x 250	300
<i>Rhododendron pulchrum</i>	300 x 250	300

Botanical Name	Size (mm) (Height x Spread)	Spacing (mm)
<i>Rhododendron simsii</i>	300 x 250	300
<i>Schefflera arboricola</i>	300 x 250	300
<i>Strelitzia reginae</i>	300 x 250	300
Groundcover Species		
<i>Asparagus densiflorus 'Sprengerii'</i>	150 x 150	200
<i>Cuphea hyssopifolia</i>	250 x 300	350
<i>Hymenocallis americana</i>	300 x 200	250
<i>Iris</i> spp.	150 x 150	200
<i>Lantana montevidensis</i>	150 x 150	200
<i>Nephrolepis exaltata</i>	150 x 150	200
<i>Ophiopogon japonicus</i>	150 x 150	200
<i>Philodendron selloum</i>	300 x 200	250
<i>Phyllanthus myrtifolius</i>	250 x 300	350
Bamboo		
<i>Bambusa textilis</i>	2000-3000 Ht.	250
<i>Pseudosasa japonica</i>	1000-2000 Ht.	250
Climbing Plants		
<i>Ficus pumila</i>	At least 3 shoots per plant. Each shoot at least 1000 mm in length.	250
<i>Lonicera japonica</i>		
<i>Parthenocissus tricuspidata</i>		
<i>Philodendron cordatum</i>		
<i>Quisqualis indica</i>		
Lawn		
<i>Axonopus compressus</i>	Turves	m ²

Note: The plant species listed above provide an indication of the future character of the proposed landscape areas however the design will be subject to review during the detailed design stage of the project.

Soil Depth for Planting Areas

- 9.5 In order to ensure that the planting proposals are feasible, it is proposed that an adequate planting medium be incorporated into the design of the soft landscape areas. All planting areas allow a minimum soil depth excluding the drainage layer of 1200mm facilitating the planting of trees whilst shrub and green roof / lawn areas will incorporate a minimum soil depth of 600mm and 300mm respectively excluding the requirements for drainage. The configuration of the typical planting beds both at-grade and above the structural slab are shown on **Figure 9.1**.

Irrigation and Drainage

- 9.6 The proposed irrigation system will utilise a manual system with lockable water points at 40m centres throughout the entire site. The proposed source of water supply will be subject to final approval from the Water Supplies Department. Sub-soil drainage shall be provided for all planting areas with a cellular drainage system such as "Mira-drain" or an approved equivalent.

Feature Paving

- 9.7 The paving will be an important element of the landscape design both in terms of its aesthetic appearance and in terms of producing a hardwearing landscape for usage by the future users. The design of the proposed paving will highlight entrance areas and major pedestrian routes through the site providing a hierarchy for pedestrian movement and help to define the spatial configuration of the landscape. It would be constructed of quality materials in feature patterns creating a distinct identity for each of the key landscape zones responding to the architectural design and function of each. Colour changes within the patterns would be used to break the linearity of the spaces and establish a theme across the development.
- 9.8 The use of a similar material palette for the vehicular and pedestrian areas is designed to blur the distinction between the two and create the appearance of a shared surface.
- 9.9 Non-slip paving materials will be utilised throughout the site and the proposed finishes and materials are summarized below:
- Internal access roads, EVA and pedestrian pavements: Subtle shades of natural granite and concrete pavers designed to create a distinct identity at the threshold of the development and subtle transition with the adjacent pedestrian pavement.
 - Main Gardens: Combination of natural granite and concrete paving, recycled plastic decking using both formal paving and naturalistic paving for the horizontal surfaces building on the design theme for the architectural and landscape schemes.
 - Natural granite and recycled plastic composite timber decking for the swimming pool area.
- 9.10 Wherever possible all landscape areas will cater for multiple use needs including people with impaired ability and access for the disabled in accordance with Building Department's Design Manual on 'Barrier Free Access (DMBFA), 2008'.
- 9.11 The landscape design considers the requirements of Chapter 6 of the DMBFA for the use of elderly residents whereby the landscape has been designed without steps, thresholds, small ramps or kerbs, wherever possible. Where changes in level are unavoidable handrails or grab bars will be provided. Steps and staircases should be designed with wider treads and lower risers. Floor surfaces will comply with Division 4. Slip-resistant floor finishes and avoids the use of shiny and reflective floors such as marble, glazed tiles and the like. Open jointed pavers or aeration paver blocks with uneven or very rough surface will be avoided at external open spaces.

Planter Walls

- 9.12 Where possible planters will be at-grade however where raised planters are required the planter walls and coping will be clad with various finishes including a combination of light and mid grey and rustic yellow natural granite; and textured paint.

Lighting

- 9.13 The lighting design concept for the landscaped areas should be designed to contribute to the quality of the development in nocturnal views providing an aesthetically pleasing landscape through the highlighting of landscape elements. All of the landscape areas will be provided with sufficient illumination to meet the required lighting standards, particularly for the entrance areas and pedestrian access paths. The lighting concept will include four types of lighting which are as follows:

- Amenity lighting highlighting feature trees, walls, sculptures and planting through the use of spotlights and up-lighting;
- Area lighting involving the use of low-level lighting sources such as lighting bollards and recessed wall lights for sitting areas and main landscape spaces designed to avoid glare / light spillage to adjacent properties;
- General safety lighting with the minimum lux level which will last between midnight and early morning; and;
- Sufficient lighting to meet the lux requirements for the pool license areas.

Site Furniture

- 9.14 The landscape design would include the provision of site furniture including seating, which in addition to its functional attributes would also contribute to the perceived quality of the landscape.

Safety Requirements

- 9.15 All outdoor facilities will be designed, constructed and operated in full compliance with relevant safety standards and guidelines.

10.0 Landscape Management and Maintenance

- 10.1 Upon completion of the construction works, a 12-month Defects Liability Period (DLP) will be implemented applying to the hard landscape whereby the specialist contractor will be responsible for the maintenance during this first year.
- 10.2 Similarly the softworks contractor will be responsible for a 12-month Establishment Period (EP) for the planting after practical completion. This allows time for the proper establishment of the plants and the replacement of any losses.
- 10.3 At the end of the 12-month DLP / EP, subject to the location of the landscape will be managed and maintained by the land owner and/or the management company for the development. This includes general tree care and proper tree maintenance in accordance with relevant guidelines promulgated by DEVB.

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Landscape Proposal

Landscape Figures



LEGEND

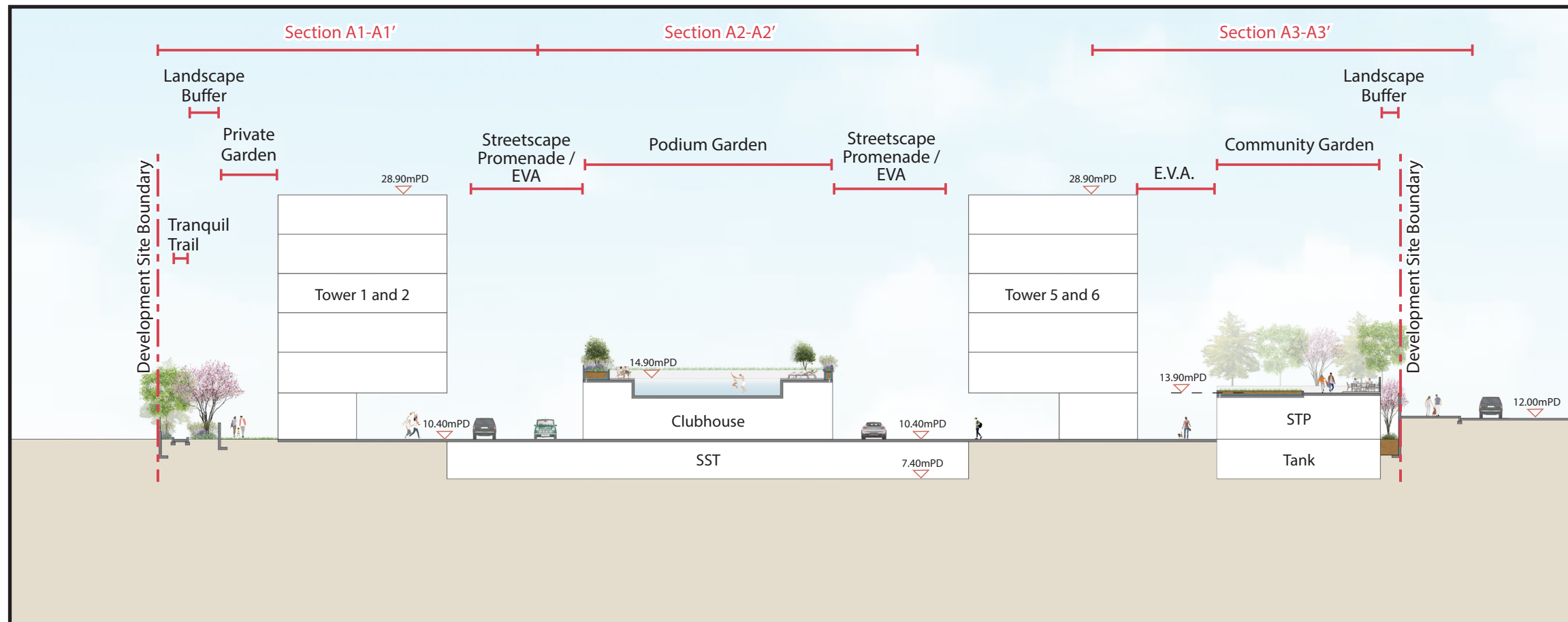
- Development Site Boundary
- Existing Levels
- Proposed Levels
- Proposed Pedestrian Access
- Proposed Vehicular Access
- Proposed Architectural Scheme
- Existing Trees Retained
- Proposed Tree Planting
- Proposed Feature Tree Planting
- Proposed Large Specimen Shrub
- Proposed Shrub Planting
- Proposed Lawn
- Proposed Landscape Paving
- Proposed Landscape Deck
- Proposed Swimming Pool
- Proposed Green Roof
- Private Garden

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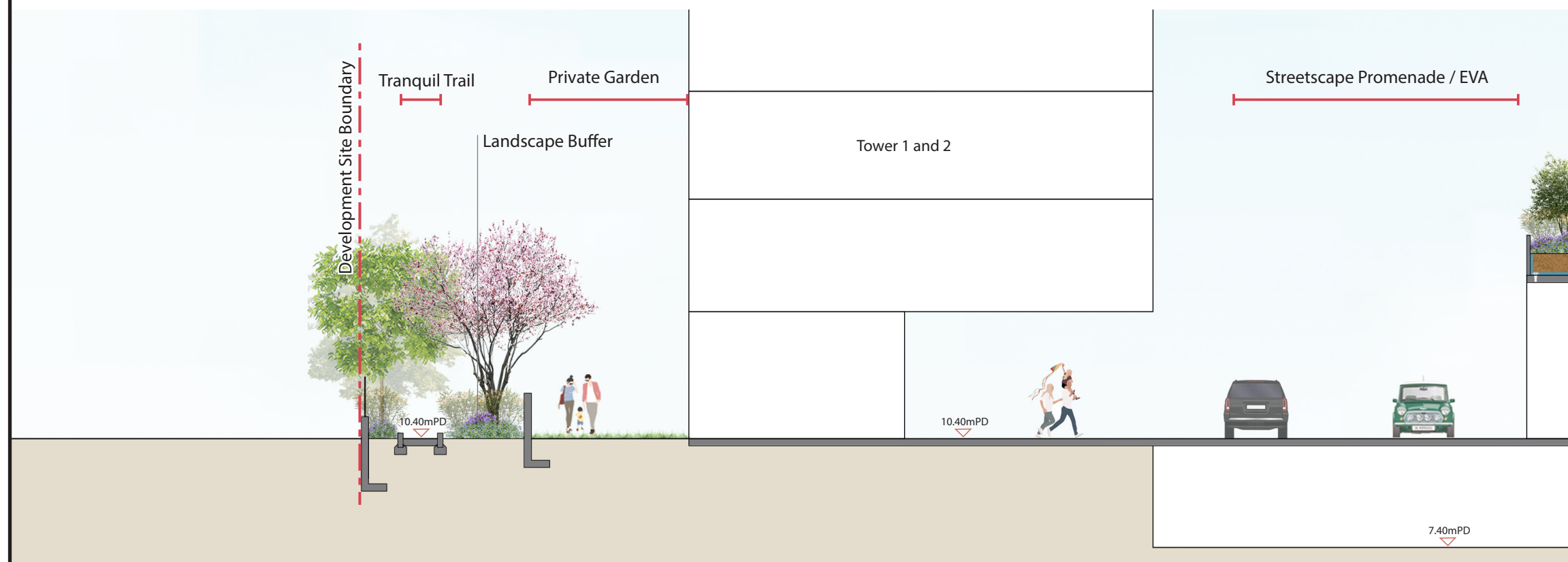
FIGURE TITLE
Rezoning from "Residential (Group C)2" and "Open Space" zones to "Residential (Group C)4" zone for a Proposed Residential Development at Lot Nos. 519 RP (part) and 520 RP in D.D. 110 and the Adjoining Government Land, Shek Kong, Yuen Long, N.T.

Landscape Master Plan - All Levels

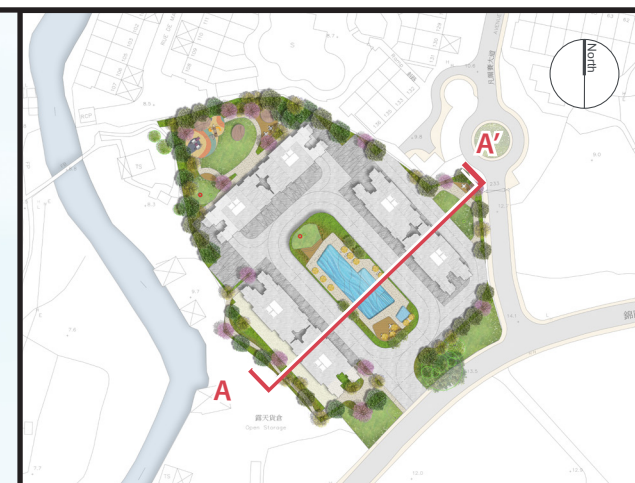
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Section A-A'



Section A1-A1'



-  Section Line
-  Development Site Boundary
-  Typical Levels
-  Proposed Fence Wall
-  Proposed Tree Planting
-  Proposed Shrub Planting
-  Proposed Large Specimen Shrub

FIGURE TITLE
Rezoning from "Residential (Group C)2" and "Open Space" zones to "Residential (Group C)4" zone for a Proposed Residential Development at Lot Nos. 519 RP (part) and 520 RP in D.D. 110 and the Adjoining Government Land, Shek Kong, Yuen Long, N.T.

Landscape Section A-A' & A1-A1'

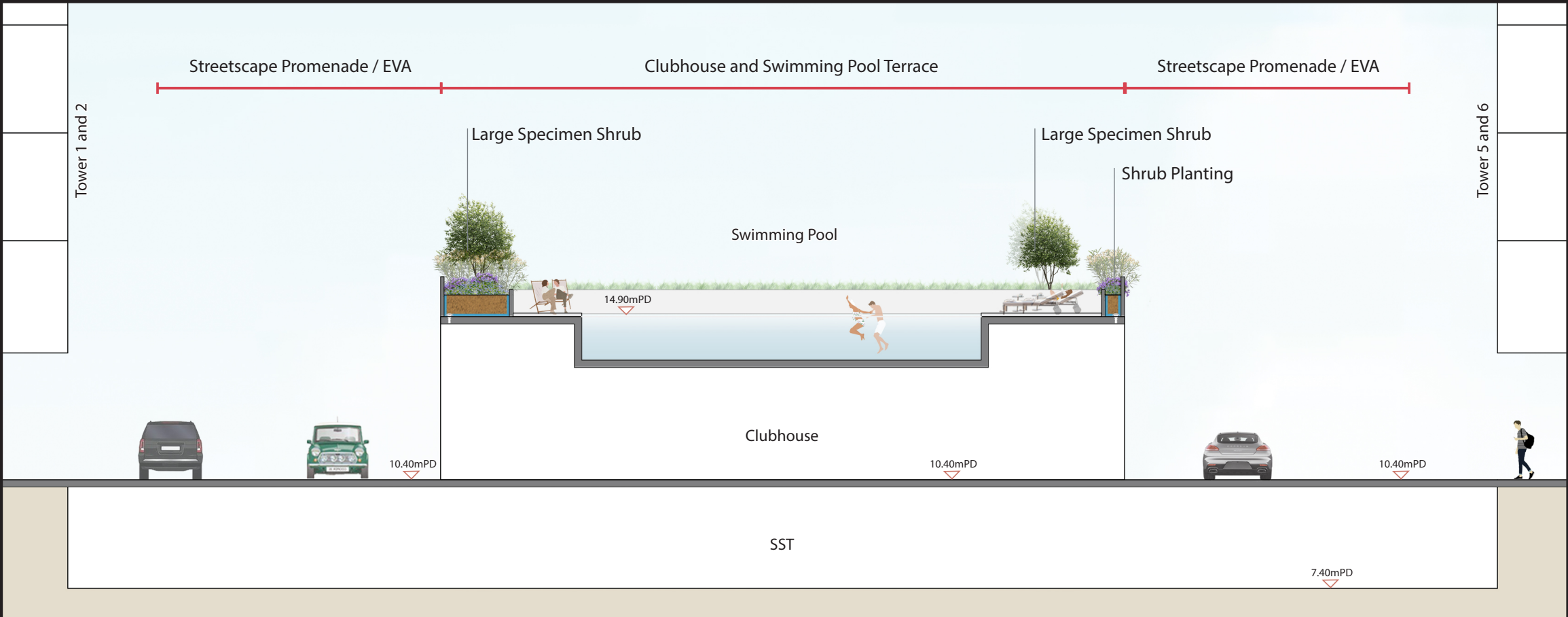
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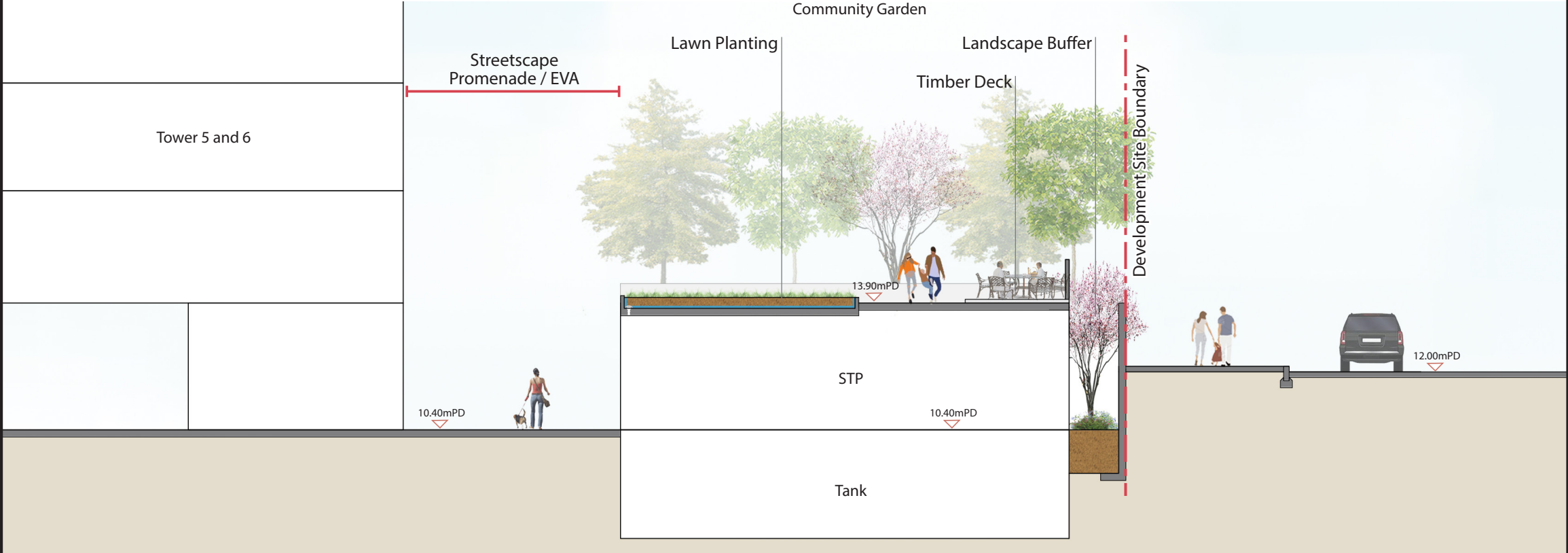
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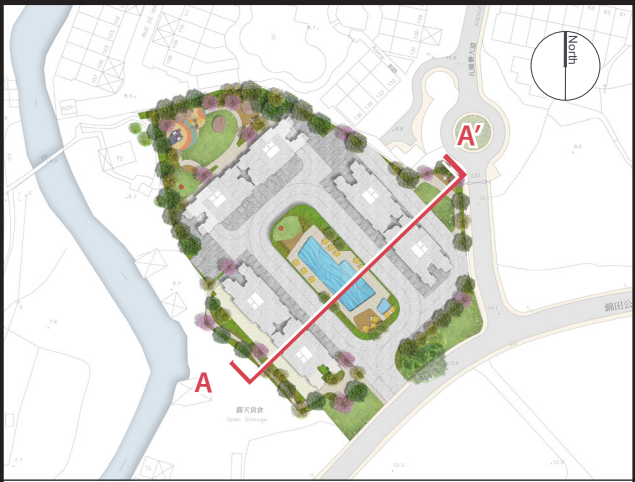
Telephone: 2468 2422
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Website: scenic@studioscenic.com



Section A2-A2'



Section A3-A3'



- Section Line
- Development Site Boundary
- Typical Levels
- Proposed Fence Wall
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- Proposed Shrub Planting
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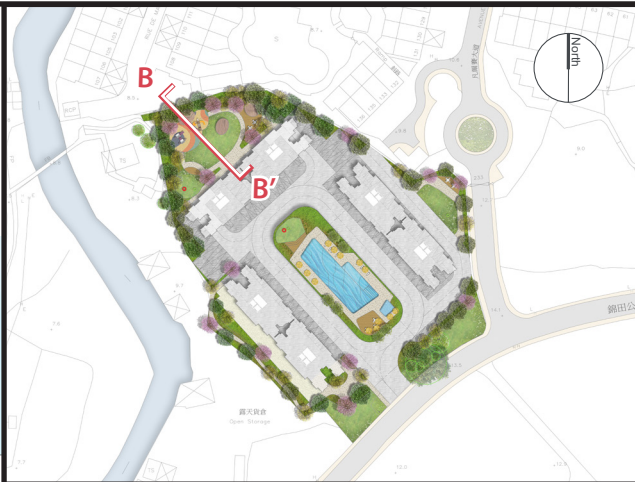
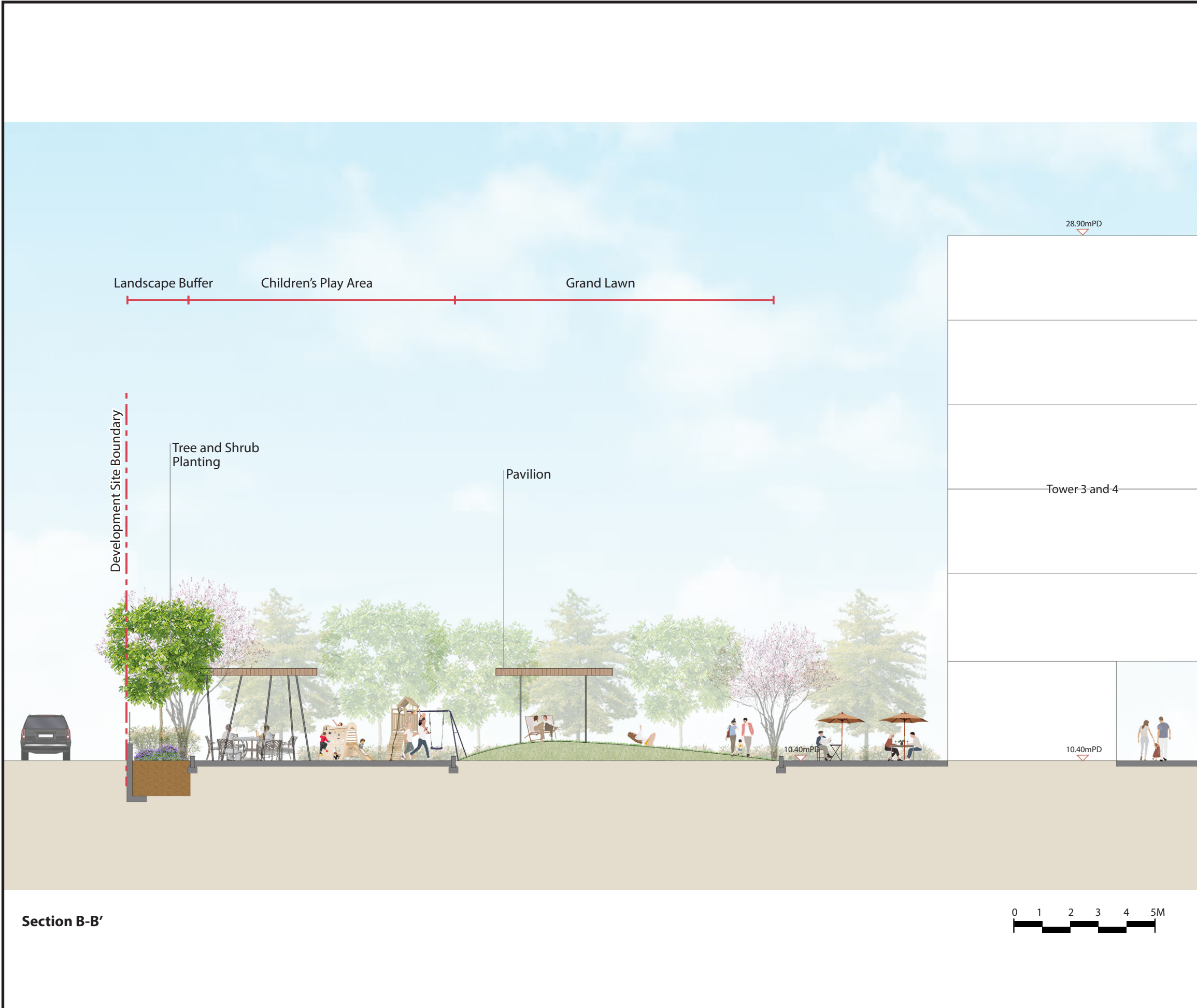
FIGURE TITLE Rezoning from "Residential (Group C)2" and "Open Space" zones to "Residential (Group C)4" zone for a Proposed Residential Development at Lot Nos. 519 RP (part) and 520 RP in D.D. 110 and the Adjoining Government Land, Shek Kong, Yuen Long, N.T.

Landscape Section A2-A2' & A3-A3'

SCALE	A.S.	DATE	Apr 2025
CHECKED	CF	DRAWN	JZ
FIGURE NO.	Figure 5.2		REV
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-  Section Line
-  Development Site Boundary
-  Typical Levels
-  Proposed Fence Wall
-  Proposed Tree Planting
-  Proposed Shrub Planting
-  Proposed Large Specimen Shrub

Section B-B'

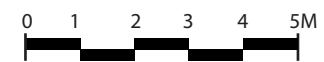


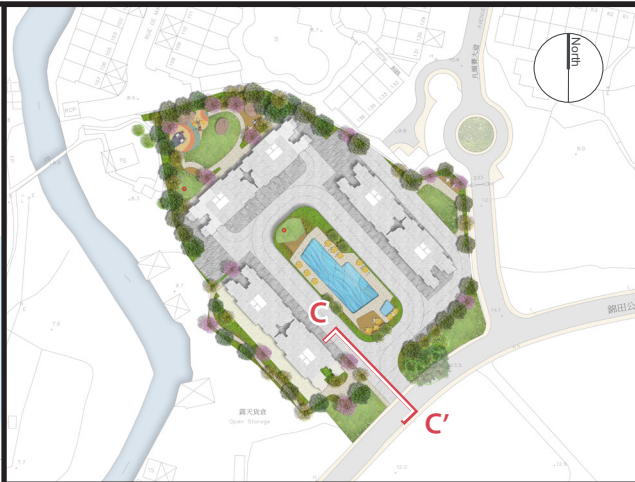
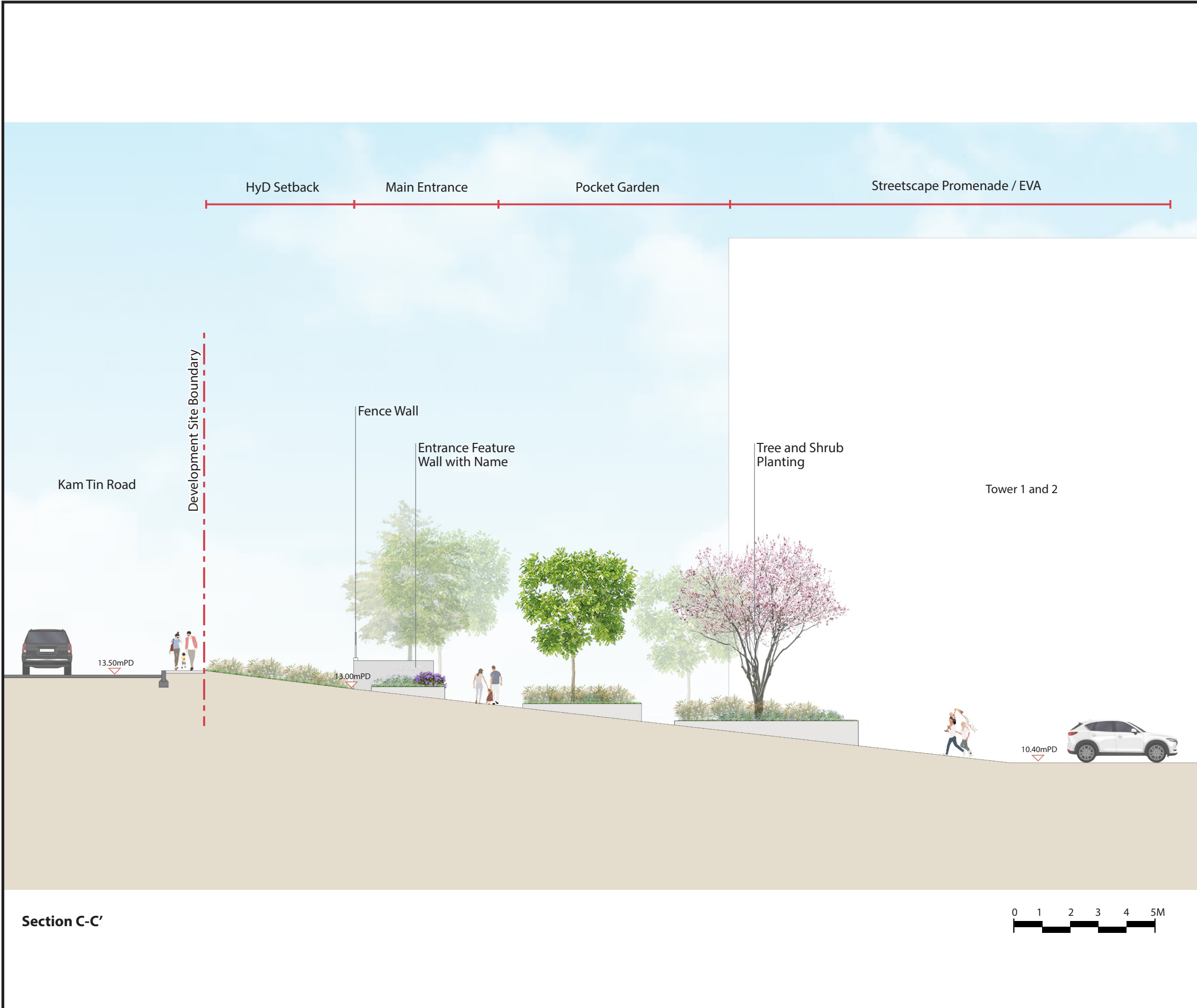
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Landscape Section B-B'

SCALE	A.S.	DATE	Apr 2025
CHECKED	CF	DRAWN	JZ
FIGURE NO.	Figure 5.3		REV
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- Section Line
- Development Site Boundary
- Typical Levels
- Proposed Fence Wall
- Proposed Tree Planting
- Proposed Shrub Planting

FIGURE TITLE
Rezoning from "Residential (Group C)2" and "Open Space" zones to "Residential (Group C)4" zone for a Proposed Residential Development at Lot Nos. 519 RP (part) and 520 RP in D.D. 110 and the Adjoining Government Land, Shek Kong, Yuen Long, N.T.

Landscape Section C-C'

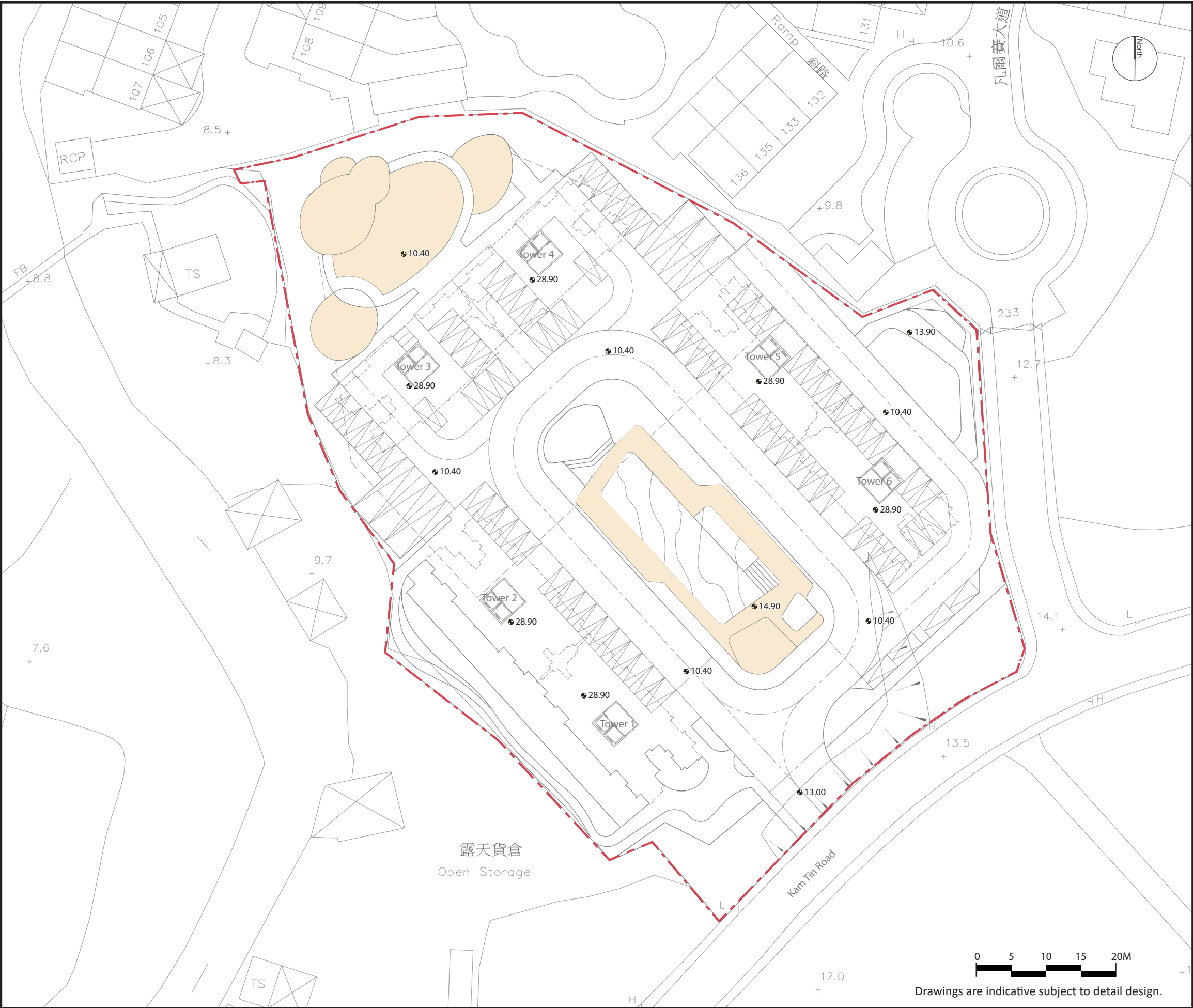
SCALE	A.S.	DATE	Apr 2025
CHECKED	CF	DRAWN	JZ
FIGURE NO.	Figure 5.4		REV
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LEGEND

Development Site Boundary

Private Open Space (Passive Use)

Private Open Space		
G/F Landscape Area		
OS01	Open Space (Passive Use)	830m ²
Total Open Space:		830 m ²

FIGURE TITLE
Rezoning from “Residential (Group C)2” and “Open Space” zones to “Residential (Group C)4” zone for a Proposed Residential Development at Lot Nos. 519 RP (part) and 520 RP in D.D. 110 and the Adjoining Government Land, Shek Kong, Yuen Long, N.T.

Open Space - All Levels

SCALE	A.S.	DATE	APR 2025
CHECKED	CF	DRAWN	JZ
FIGURE NO.			REV
Figure 6.1			-



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LEGEND

Development Site Boundary

Uncovered Greenery at Primary Zone

Green Coverage				
Landscape Area				
GA01	Soft Landscape (tree and shrub planting)	1,888m ²	Uncovered	Primary Zone
Total Green Coverage:			1,888m ² (22%)	

FIGURE TITLE
Rezoning from “Residential (Group C)2” and “Open Space” zones to “Residential (Group C)4” zone for a Proposed Residential Development at Lot Nos. 519 RP (part) and 520 RP in D.D. 110 and the Adjoining Government Land, Shek Kong, Yuen Long, N.T.

Green Coverage - All Levels

SCALE	A.S.	DATE	APR 2025
CHECKED	CF	DRAWN	JZ
FIGURE NO.			REV
Figure 7.1			-

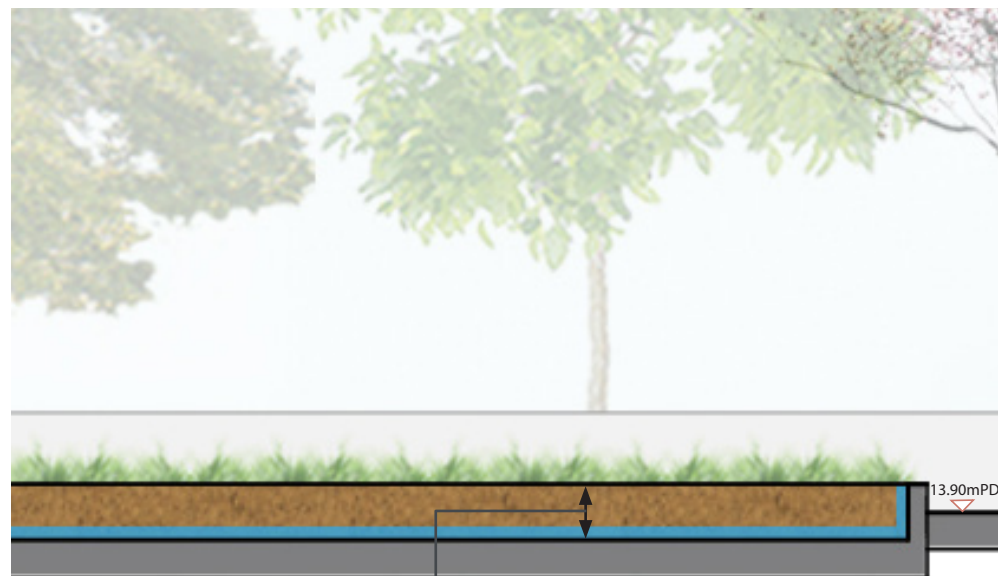
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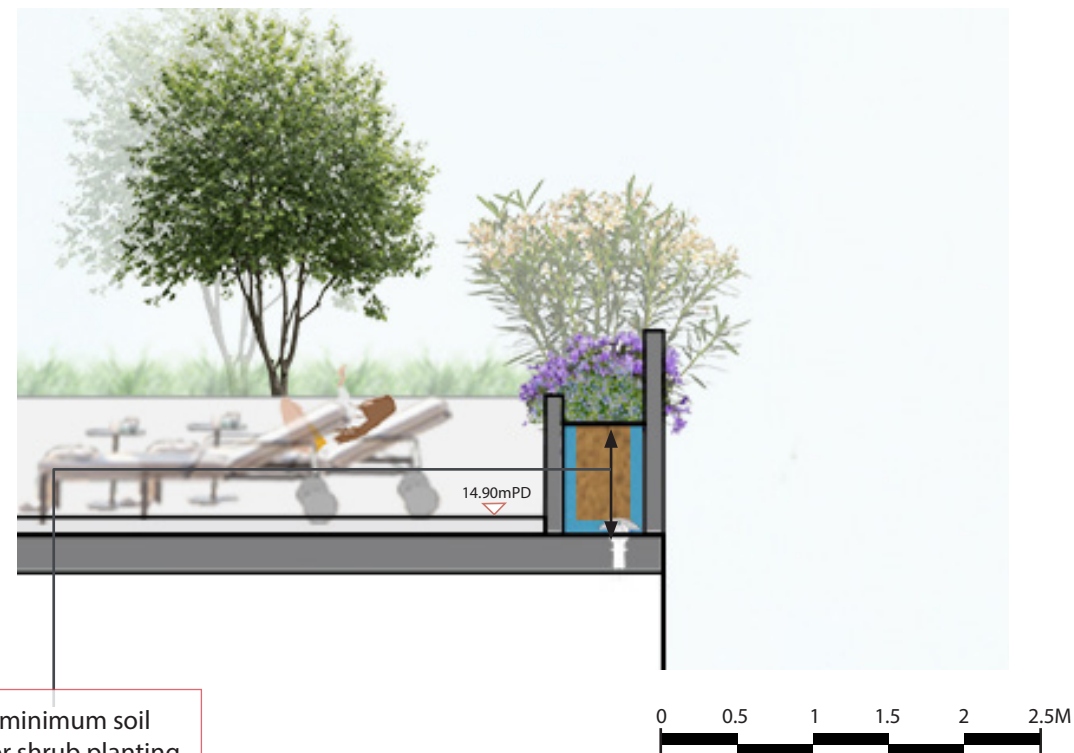
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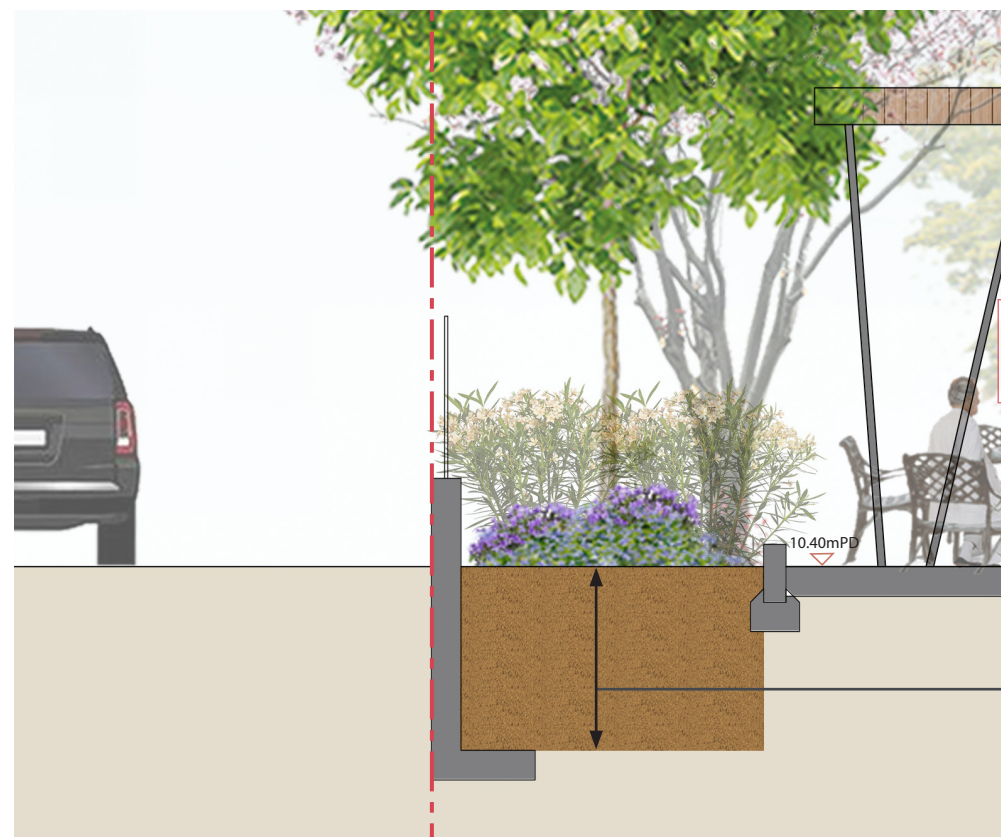


300mm minimum soil depth for lawn

A. Section showing the proposed shrub and lawn planting (on structure)

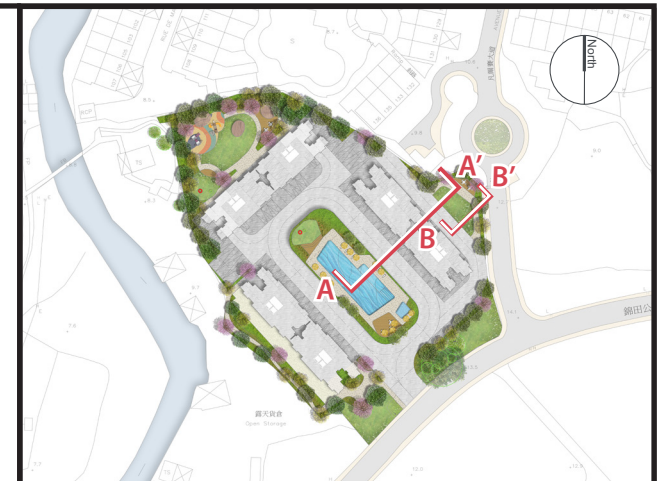
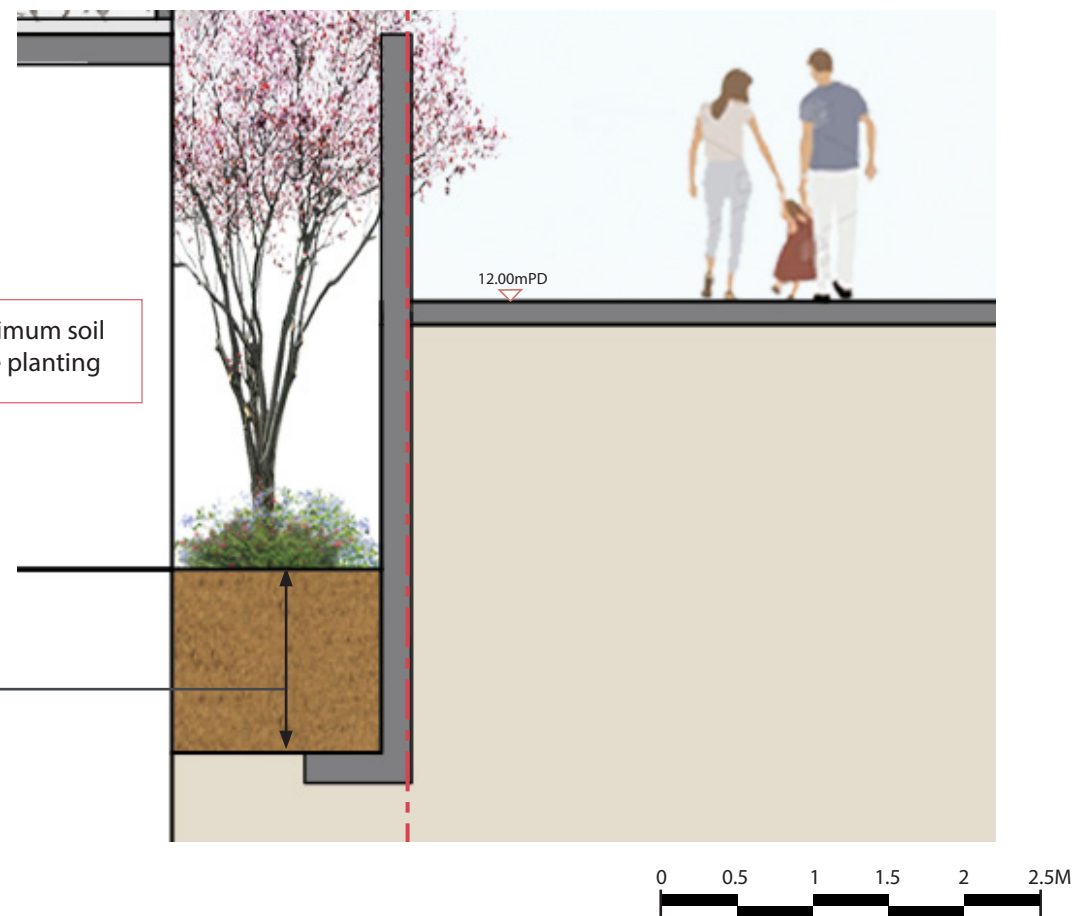


600mm minimum soil depth for shrub planting

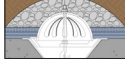


1200mm minimum soil depth for tree planting

B. Section showing the proposed tree and shrub planting (at-grade)



LEGEND

-  Section Line
-  Typical Levels
-  Soil Mix
-  Planter Drainage Outlet to Engineering's Details
-  Drainage Cell / Screed Laid to Falls
-  Gravel Covered with Geotextile at Drain Outlet

Note:

- All soil depths stated exclude drainage layer.
- Yellow and light grey granite finishes for the planter walls and coping.

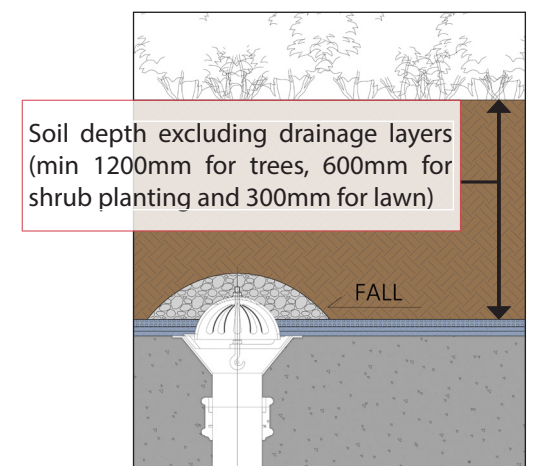
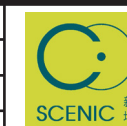


Diagram showing the Drainage outlet detail

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Typical Section showing Planter Soil Depth and Drainage Arrangement

SCALE	A.S.	DATE	APR 2025
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FIGURE NO.	Figure 9.1		REV
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